



**CITY OF SUNNYVALE
REPORT
Administrative Hearing**

January 26, 2005

SUBJECT: **2004-0980 – Good Guys** [Applicant] **Murtha J Martin Trustee & Et Al** [Owner]: Application for a 2.2 acre site located at **1247 West El Camino Real** in a C-2 (Highway Business) Zoning District. (APN: 161-22-007):

Motion Use Permit to allow the modification to an existing building for an auto installation access/door facing El Camino Real including the modification to a parking lot layout.

REPORT IN BRIEF

Existing Site Conditions Commercial shopping center

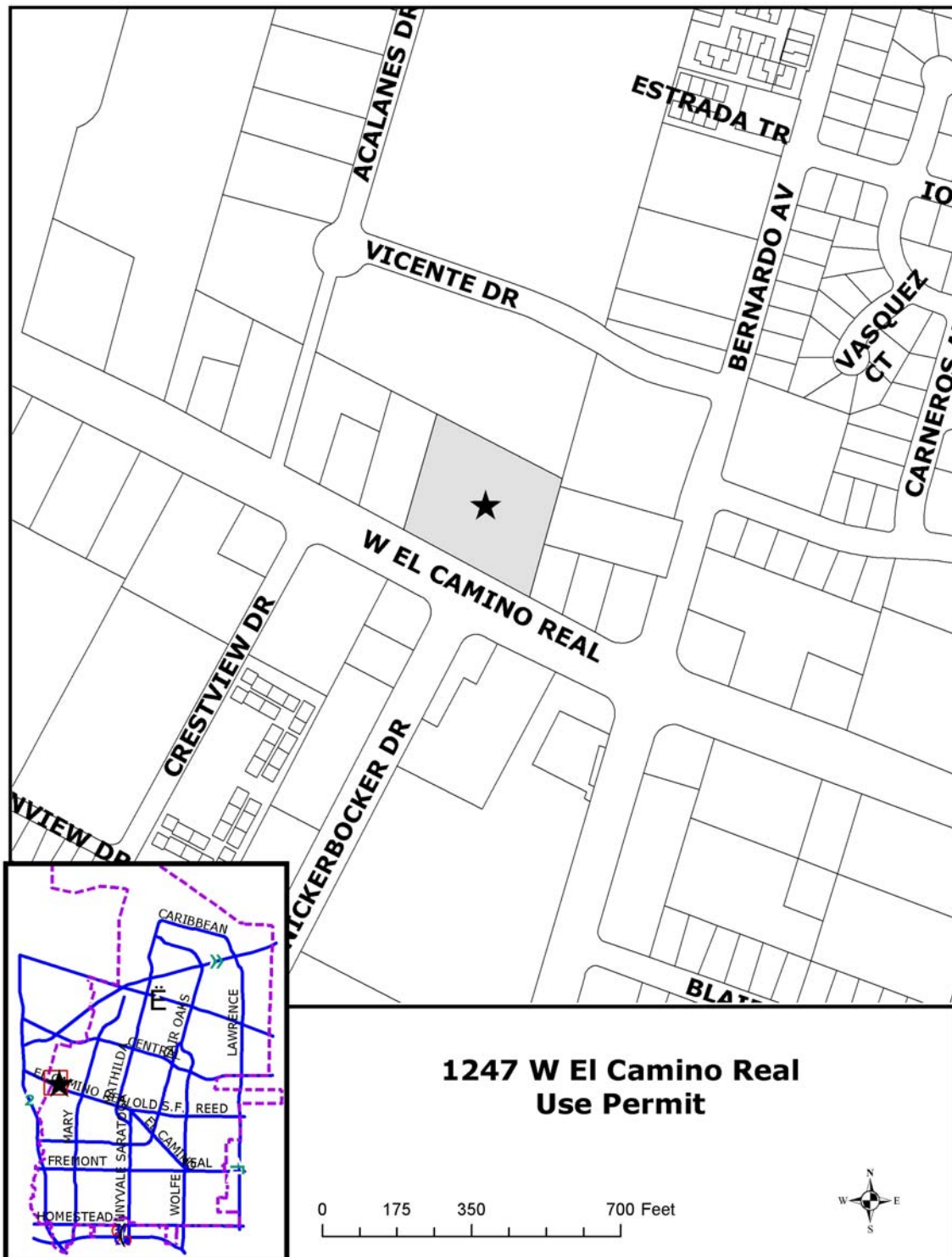
Surrounding Land Uses

North	Multi-family residential, apartments
South	Commercial, retail uses
East	Commercial, Restaurant
West	Commercial, retail uses

Issues Visual impact to El Camino Real

Environmental Status A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

Staff Recommendation Approval with modifications



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Commercial General Business	Same	Commercial General Business
Zoning District	C-2	Same	C-2
Lot Size (s.f.)	97,139	Same	None
Gross Floor Area (s.f.)	26,474	Same	No max.
Gross Floor Area of Tenant (s.f.)	17,292	Same	No max.
Lot Coverage (%)	27	Same	35 max.
No. of Buildings On- Site	2	Same	---
Building Height (ft.)	26'8"	Same	40' max.
No. of Stories	1	Same	2 max.
Setbacks (Facing Property)			
• Front	85'0"	Same	70 min.
• Left Side	4'0"	Same	None
• Right Side	10'0"	Same	None
• Rear	52'0"	Same	None
Parking			
• Total Spaces	154	152	132 min.
• Accessible Spaces	5	6	6 min.

ANALYSIS**Description of Proposed Project**

The proposed project is to allow a modification to an existing building for an auto installation access door facing El Camino Real. A Use Permit is required because the proposal constitutes a major change to the building. The tenant, The Good Guys, proposes to convert one of the windows facing El Camino Real to a glass-paneled access door for installing automobile radios and equipment in the building. Two parking spaces would be removed to provide a driveway to the new auto installation area of the building.

Background

Previous Actions on the Site: The following table summarizes previous planning applications related to the subject site.

File Number	Brief Description	Hearing/Decision	Date
1980-0224	A 28,000 sq. ft. retail commercial building	City Council Hearing Approved	12/10/1979

Environmental Review

A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. Class 1 Categorical Exemption includes minor modifications to existing buildings.

Use Permit

Site Layout: There are two building on the property, one which houses The Good Guys and the other which has multiple commercial tenants. The Good Guys building is L-shaped with the store entrance facing the street. The area proposed for the auto installation space is currently used for storage in the building. There are windows along the front and side of the building which have been covered to prevent visibility into the storage area of the store. One of those window areas is the portion to be replaced with the glass access doors. There would be visibility into the auto installation area from El Camino Real when the access doors are open.

Parking/Circulation: Access to the site is from two driveways on W. El Camino Real. The proposed access doors are located on a dead-end driveway which intersects the main driveway near the right property line. Two parking spaces would be removed to serve as the access into the auto installation area. There would be 152 parking spaces on site (versus 154 currently), which is more than the 132 required. The applicant is also adding an additional accessible parking space on the property, but this will not affect the overall number of parking spaces on site.

Conclusion

Compliance with Development Standards/Guidelines: The project is located in the Precise Plan for El Camino Real area, and is identified as Opportunity Area One. This area is considered the gateway to Sunnyvale and creates precedence for design standards for the rest of El Camino Real. A vehicle access door to an installation area facing directly to El Camino Real does not meet the standard contemplated by the Precise Plan. Staff feels that an access

door such as this should not face El Camino Real, but should be located in an area not readily visible from the street. Staff recommends moving the access door to a location facing the main parking lot. There is a window similar to the proposed location which faces the parking lot and is less visible to El Camino Real. Staff recommends this location for the access door and also recommends adding landscaping along the front side of the driveway to the access doors in order to make the installation area less visible from El Camino Real. Staff also recommends the addition of a condition requiring the access door to be closed at all times except to allow a car to enter or leave the installation area in the building (see Condition 1.j). No work shall be done outside the building.

Expected Impact on the Surroundings: There could be a visual impact on El Camino Real from the access door location and installation work in the building. There will be no impact to the immediately surrounding properties.

Fiscal Impact

No fiscal impacts other than normal fees and taxes are expected.

Findings, General Plan Goals and Conditions of Approval

With the recommended modification, staff was able to make the required Findings based on the justifications for the Use Permit.

- Findings and General Plan Goals are located in Attachment A.
- Conditions of Approval are located in Attachment B.

Public Contact

Notice of Public Hearing	Staff Report	Agenda
<ul style="list-style-type: none">• Published in the <i>Sun</i> newspaper• Posted on the site• 168 notices mailed to adjacent property owners and residents of the project site	<ul style="list-style-type: none">• Posted on the City of Sunnyvale's Website• Provided at the Reference Section of the City of Sunnyvale's Public Library	<ul style="list-style-type: none">• Posted on the City's official notice bulletin board• City of Sunnyvale's Website• Recorded for SunDial

Alternatives

1. Approve the Use Permit with attached conditions.
2. Approve the Use Permit with modified conditions.
3. Deny the Use Permit.

Recommendation

Alternative 1.

Prepared by:

Andrew Miner
Project Planner

Reviewed by:

Diana O'Dell
Senior Planner

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans
- D. Photographs

Recommended Findings - Use Permit

Goals and Policies that relate to this project are:

Land Use and Transportation Element Policy N1.11.1 – *Use the Precise Plan for El Camino Real to protect legitimate business interests, while providing sufficient buffer and protection for adjacent and nearby residential uses.*

Precise Plan for El Camino Real, Opportunity Area One – *This area is a gateway to Sunnyvale. The purpose of the gateway is to announce entry or exit from the City. Gateways help define the City's edges and create a heightened sense of identity. Gateways also create a precedent for design standards that can be used along the rest of the street.*

City-Wide Design Guidelines, Service Facilities, General A1- *Locate service areas and drives away from public streets and nearby residential uses. Place service facilities in the least visible location.*

City-Wide Design Guidelines, Service Facilities, General A3- *Fully screen all service facilities from the public street and adjoining properties.*

1. As conditioned, the proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale as the project is located away from adjacent residential uses while not readily visible from El Camino Real.
2. The proposed use is desirable, and will not be materially detrimental to the public welfare or injurious to the property, improvements or uses within the immediate vicinity because, as conditioned, the use will allow for the continued operation of a retail use in an existing building, will not affect the adjacent residential properties behind the building and will meet the guidelines as the gateway to the city.

Recommended Conditions of Approval - Use Permit

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Unless otherwise noted, all conditions shall be subject to the review of approval of the Director of Community Development.

1. GENERAL CONDITIONS

- A. Project shall be in conformance with the plans approved at the public hearing(s). Minor changes may be approved by the Director of Community Development; major changes may be approved at a public hearing.
- B. Any major site and architectural plan modifications shall be treated as an amendment of the original approval and shall be subject to approval at a public hearing except that minor changes of the approved plans may be approved by staff level by the Director of Community Development.
- C. The Conditions of Approval shall be reproduced on a page of the plans submitted for a Building permit for this project.
- D. The Use Permit for the use shall expire if the use is discontinued for a period of one year or more.
- E. The Use Permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date.
- F. Once this Use Permit is exercised, the previously approved permit File Number **2004-0980** shall be null and void with no further action required by any reviewing authority.
- G. Any expansion or modification of the approved use shall be approved by separate application at a public hearing by the Director of Community Development.
- H. The access door and driveway shall be relocated to the first window along the west side of the building closest to the street.
- I. Additional landscaping shall be added in the planter strip at the southwest corner of the building to help screen the access door from El Camino Real.

J. The access door shall be closed at all times except to move a vehicle into or out of the building.

K. There shall be no work done outside the building. There shall also be no storage outside the building.

2. DESIGN/EXTERIOR COLORS AND MATERIALS

A. The modified plans shall include additional details to show the revised location of the access door, additional landscaping and new driveway location.

B. Final exterior building materials and color scheme are subject to review and approval of the Planning Commission/Director of Community Development prior to issuance of a building permit.

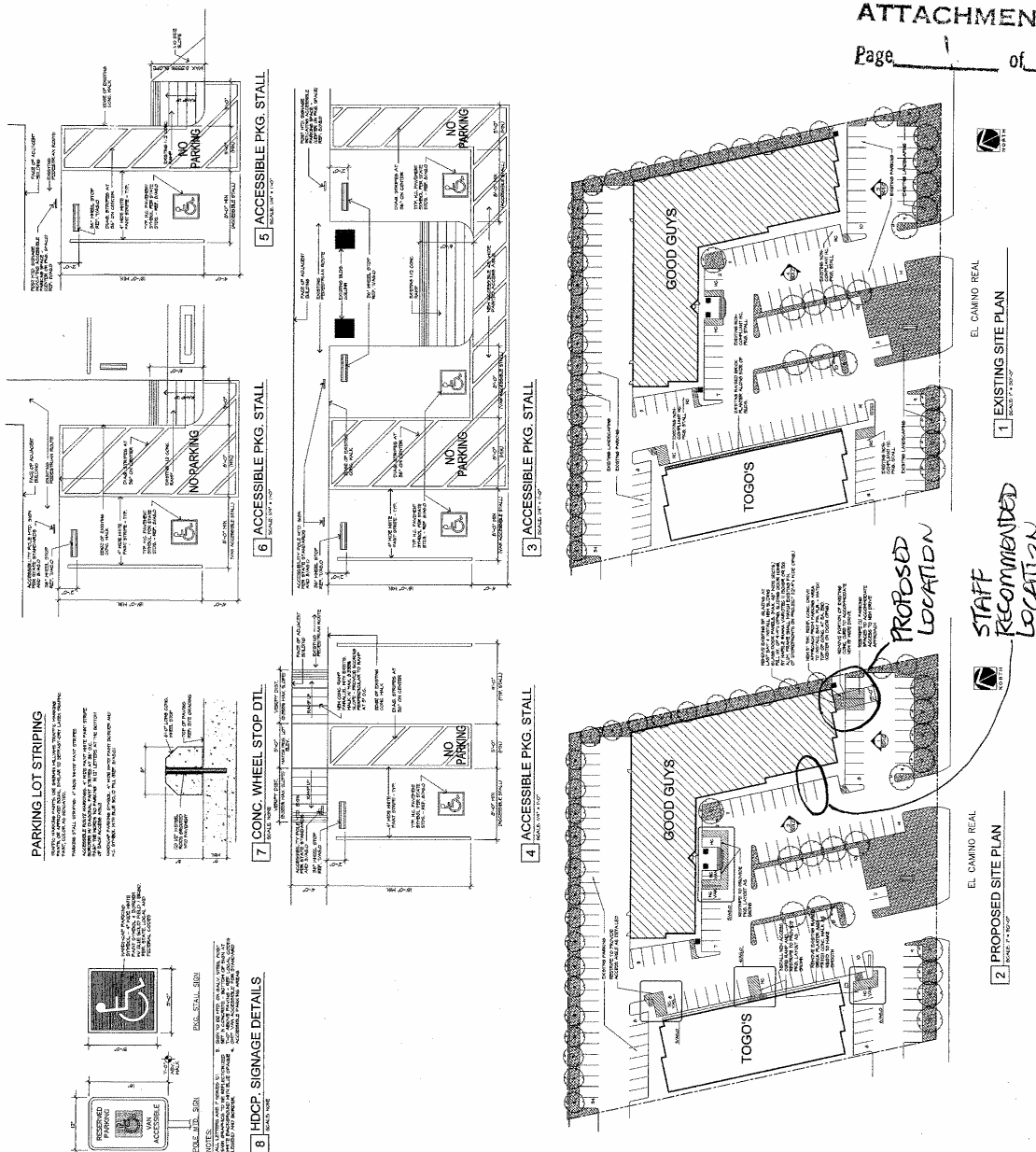
3. EXTERIOR EQUIPMENT

A. Any modification or expansion of unenclosed uses shall require approval from the Director of Community Development.

B. All unenclosed materials, equipment and/or supplies of any kind shall be maintained within approved enclosure area. Any stacked or stored items shall not exceed the height of the enclosure.

4. SIGNS

A. All existing/new signs shall be in conformance with Sunnyvale Municipal Code



COMP USA
THE COMPUTER WORKSHOP

GOOD GUYS
STORE #8

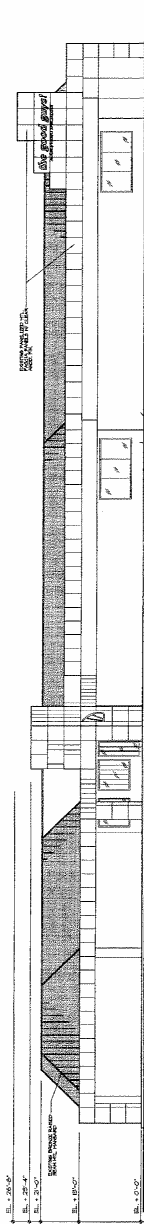
San Jose, California

W.M. GARDNER, INC.
ARCHITECTS
1320 FARMINGTON DRIVE
SAN JOSE, CA 95128
TEL: 408.298.1235

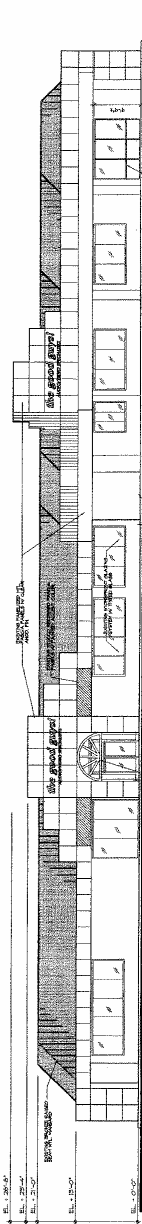
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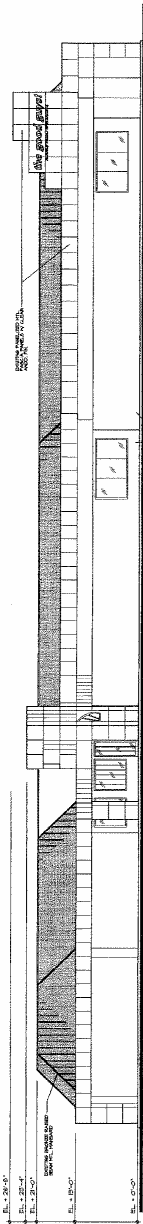
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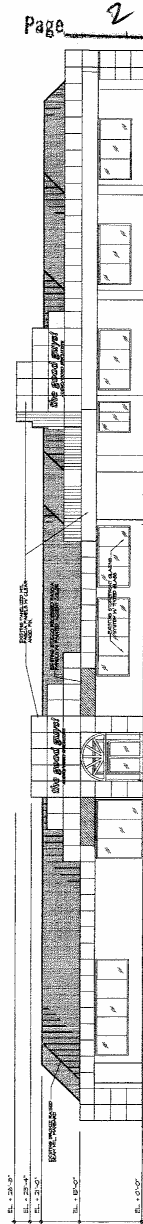
4 WEST ELEVATION (PROPOSED-NO CHANGES)



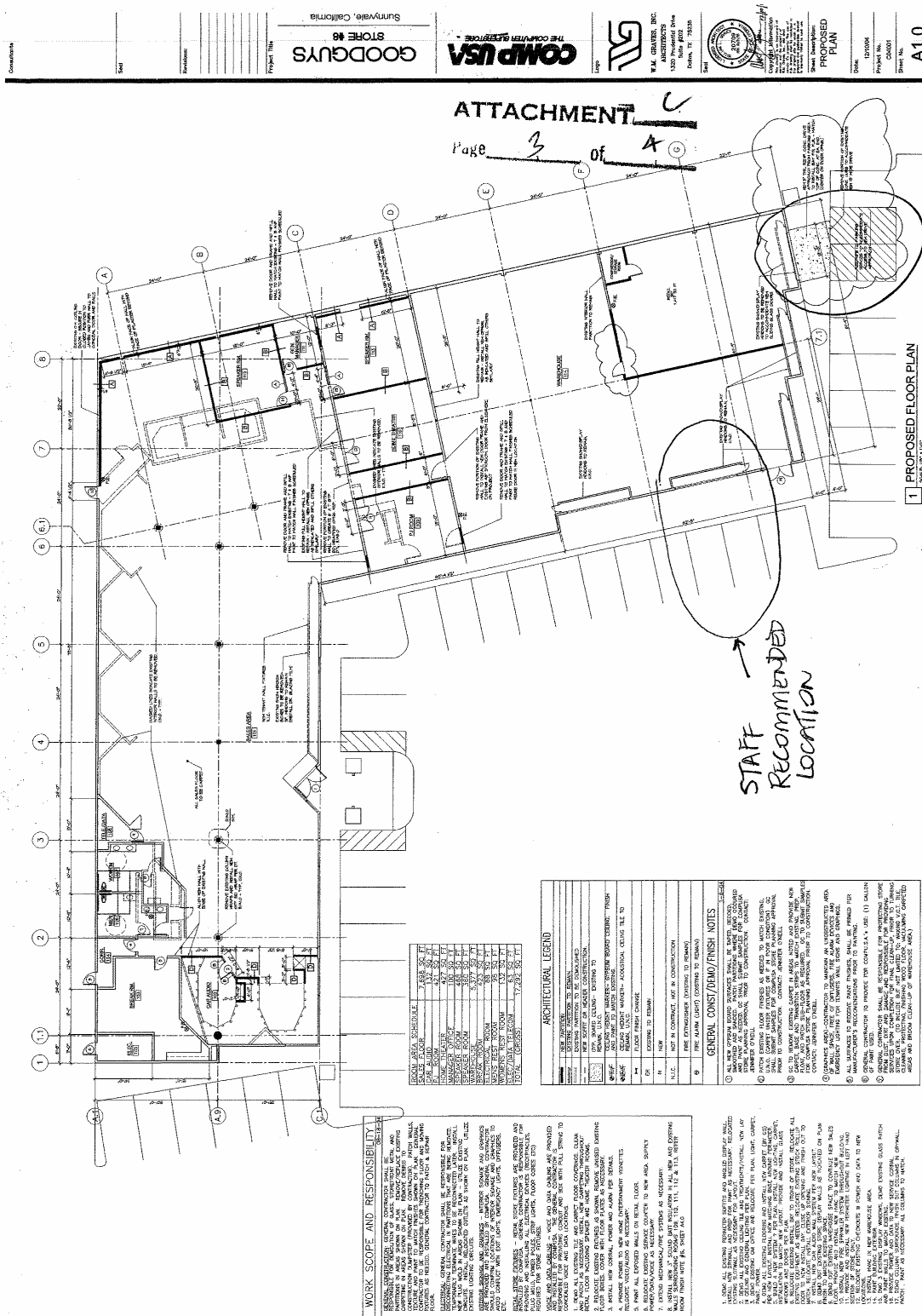
3 SOUTH ENTRY ELEVATION (PROPOSED)

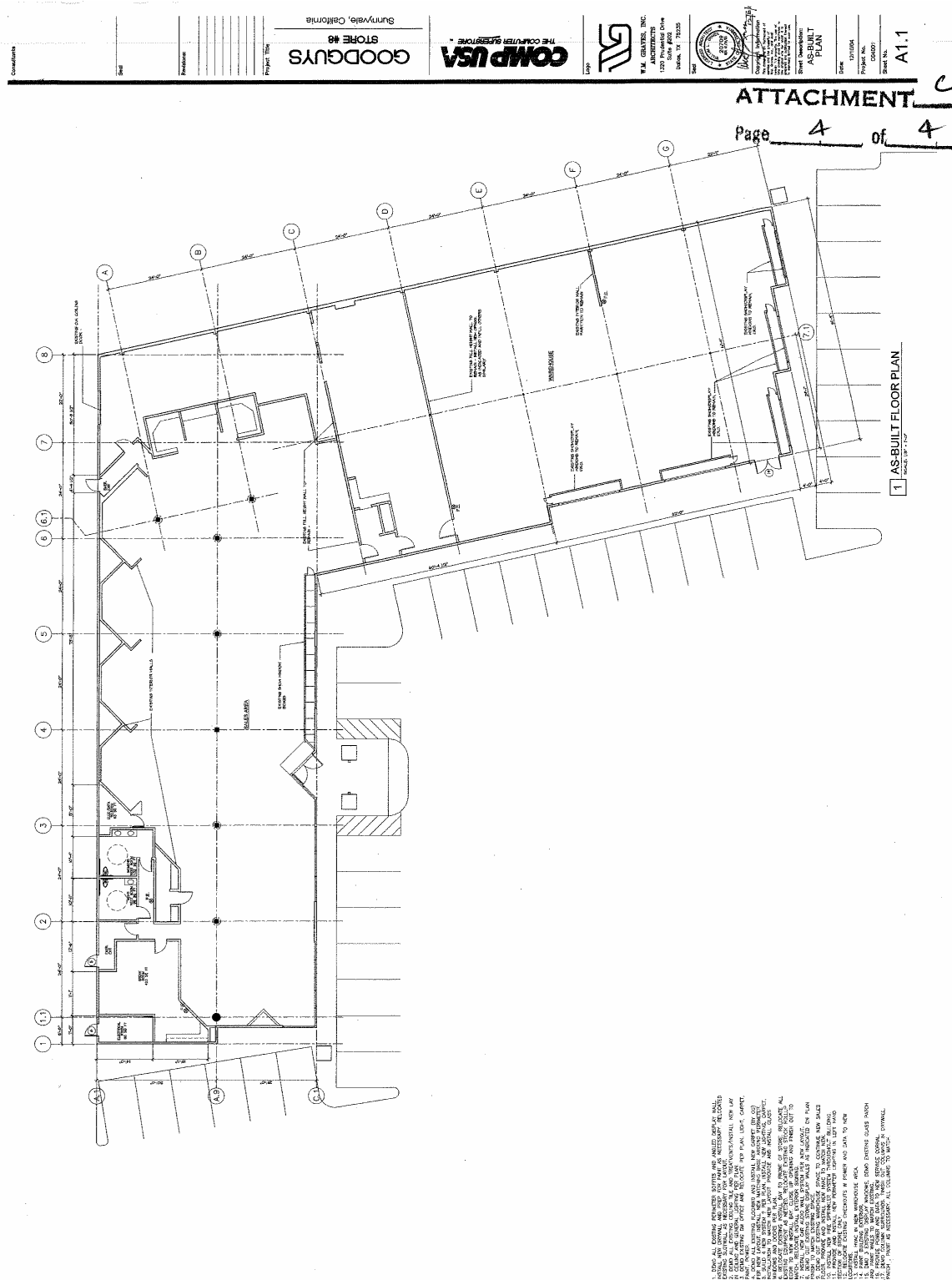


2 WEST ELEVATION (EXISTING)



1 SOUTH ENTRY ELEVATION (EXISTING)





ATTACHMENT ^D
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ATTACHMENT D

